

INITIAL SITE DEVELOPMENT PLAN FOR
BETTER LIVING BERKMAR DRIVE
PORTION OF TAX MAP 04500-00-00-112B0
RIO DISTRICT, ALBEMARLE COUNTY, VIRGINIA

LEGEND		
EXIST	NEW	DESCRIPTION
16" TC	x 12" TC	TOP OF CURB ELEVATION
16"	x 12"	SPOT ELEVATION
16" TW	x 12" TW	TOP OF WALL ELEVATION
16" BW	x 12" BW	BOTTOM OF WALL ELEVATION
		BENCHMARK
		STORM SEWER
		ROOF DRAIN
		SEWER LINE
		WATER LINE
		GAS LINE
		OVERHEAD ELECTRIC WIRE
		UNDERGROUND ELECTRIC
		OVERHEAD TELEPHONE LINE
		UNDERGROUND TELEPHONE LINE
		DRAIN INLET (DI)
		STORM/SANITARY MANHOLE
		PLUG
		WATER VALVE & BOX
		FIRE HYDRANT
		WATER METER
		LIGHT POLE
		UTILITY POLE
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		VACATED PROPERTY LINE
		BUILDING SETBACK
		PARKING SETBACK
		SANITARY EASEMENT
		GRADING EASEMENT
		DRAINAGE EASEMENT
		UTILITY EASEMENT
		WATER EASEMENT
		ACCESS EASEMENT
		STORM DRAINAGE EASEMENT
		TREE LINE
		FENCE
		STREAM
		INTERVAL CONTOUR
		INDEX CONTOUR
		STANDARD 6" CURB
		COMBINATION 6" CURB & GUTTER
		CONCRETE PAVEMENT / SIDEWALK
		RIPRAP
		ASPHALT
		GRASS
		EC-2 MATTING
		EC-3 MATTING
		WETLAND
		PARKING COUNT
		CROSSWALK
		HANDICAP ACCESSIBLE AISLE
		CG-12
		HANDICAP PARKING

NOTE:

1. THE SIZE OF THE SYMBOLS MAY VARY FROM WHAT IS SHOWN.

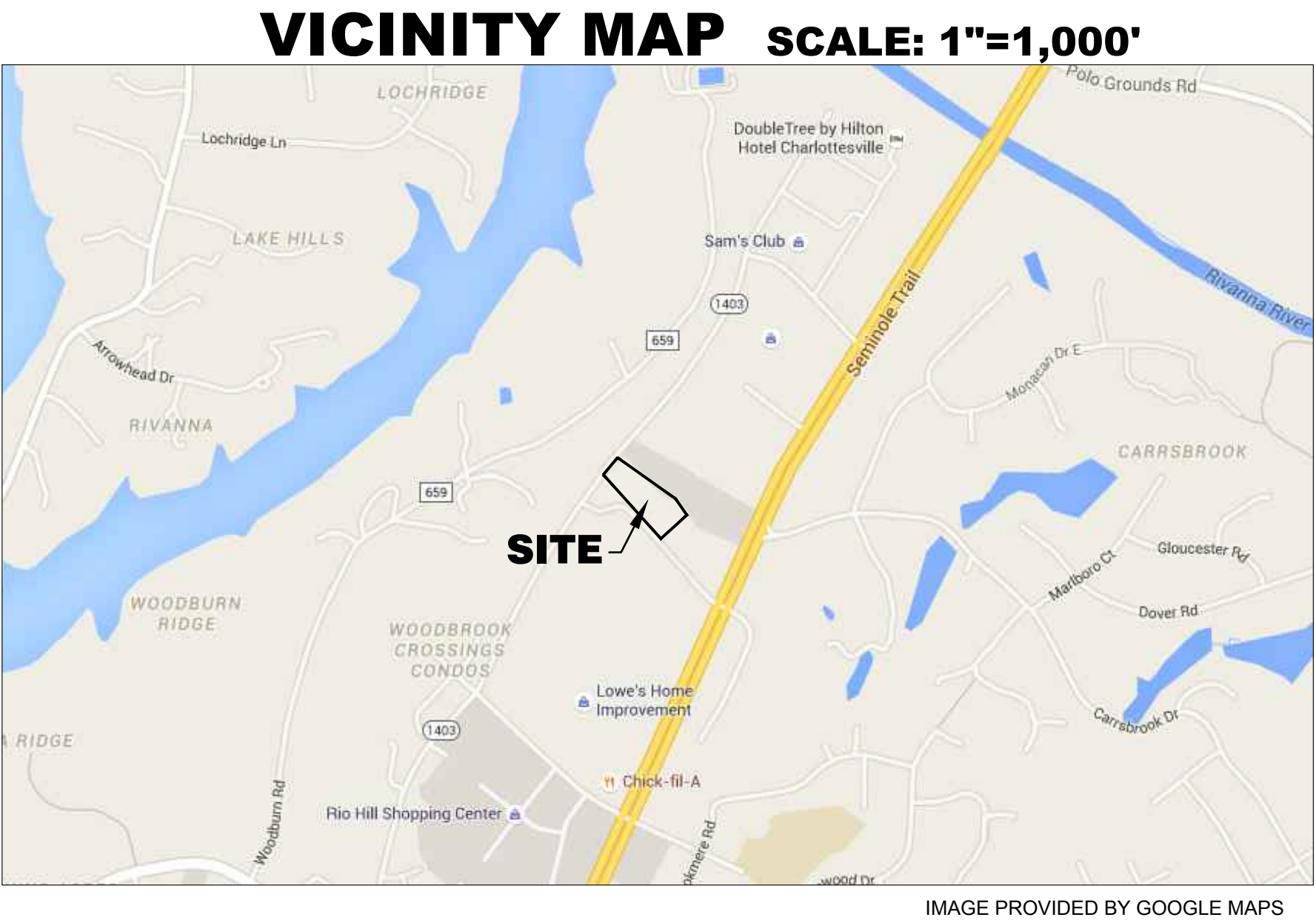


IMAGE PROVIDED BY GOOGLE MAPS

SHEET INDEX

- C1 - COVER SHEET
- C2 - EXISTING CONDITIONS
- C3 - SITE PLAN
- C4 - GRADING & UTILITY PLAN
- C5 - LANDSCAPING PLAN
- C6 - SITE & UTILITY DETAILS

SIGNATURE BLOCK

DATE

GENERAL CONSTRUCTION NOTES

- PRIOR TO ANY CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, INCLUDING CONNECTION TO ANY EXISTING ROAD, A PERMIT SHALL BE OBTAINED FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT). THIS PLAN AS DRAWN MAY NOT ACCURATELY REFLECT THE REQUIREMENTS OF THE PERMIT. WHERE ANY DISCREPANCIES OCCUR THE REQUIREMENTS OF THE PERMIT SHALL GOVERN.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CURRENT SPECIFICATIONS AND STANDARDS OF VDOT UNLESS OTHERWISE NOTED.
- EROSION AND SILTATION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION.
- ALL SLOPES AND DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED.
- THE MAXIMUM ALLOWABLE SLOPE IS 2:1 (HORIZONTAL:VERTICAL). WHERE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
- PAVED, RIP-RAP OR STABILIZATION MAT LINED DITCH MAY BE REQUIRED WHEN IN THE OPINION OF THE COUNTY ENGINEER, OR DESIGNEE, IT IS DEEMED NECESSARY IN ORDER TO STABILIZE A DRAINAGE CHANNEL.
- ALL TRAFFIC CONTROL SIGNS SHALL CONFORM WITH THE VIRGINIA MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.
- UNLESS OTHERWISE NOTED ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE - CLASS III.
- ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

- USE SELECT MATERIAL UNDER BUILDINGS AND STRUCTURES; USE FILL AND BACKFILL MATERIAL UNDER PARKING AREAS, ROADS, SIDEWALKS, AND OTHER CONCRETE AND PAVED SURFACES; USE COMMON FILL MATERIAL FOR GENERAL SITE GRADING. PLACE MATERIAL IN 6" LIFTS.
- COMPACT LAYERS OF FILL TO 95 PERCENT BY MODIFIED PROCTOR METHOD PER ASTM D 1557 BENEATH AND WITHIN 15 FEET OF BUILDINGS AND BY STANDARD PROCTOR METHOD PER ASTM D 698 BENEATH AND WITHIN DETENTION POND EMBANKMENTS, PAVEMENTS, WALKS, AND ROAD SHOULDERS, INCLUDING AREAS THAT MAY BE USED FOR FUTURE CONSTRUCTION. IN OTHER UNPAVED AREAS, COMPACT 90 PERCENT BY STANDARD PROCTOR METHOD PER ASTM D 698. IF THE DENSITY OF THE ADJACENT SOIL IS MORE THAN THE DENSITY SPECIFIED, THEN COMPACT TO A DENSITY NOT LESS THAN THE DENSITY OF THE ADJACENT SOIL.
- AREAS ON WHICH FILL IS TO BE PLACED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL. SOIL MATERIALS SHALL BE FREE OF DEBRIS, ROOTS, WOOD, SCRAP MATERIAL, VEGETATION, REFUSE, SOFT UNSOUND PARTICLES, AND FROZEN DELETERIOUS OR OBJECTIONAL MATERIALS. THE MAXIMUM PARTICLE DIAMETER SHALL BE ONE-HALF THE LIFT THICKNESS. COMMON FILL MATERIAL SHALL BE UNCLASSIFIED SOIL MATERIAL WITH THE CHARACTERISTICS REQUIRED TO COMPACT TO THE SOIL DENSITY SPECIFIED FOR THE INTENDED LOCATION. BACKFILL AND FILL MATERIAL: ASTM D 2487. CLASSIFICATION GW, GP, GM, GC, SW, SP, SM, SC WITH A MAXIMUM ASTM D 4318 LIQUID LIMIT OF 35, MAXIMUM ASTM D 4318 PLASTICITY INDEX OF 12, AND MAXIMUM OF 25 PERCENT BY WEIGHT PASSING ASTM D 1140, NO. 200 SIEVE. SELECT MATERIAL: ASTM D 2487, CLASSIFICATION GW, GP, SW, SP WITH A MAXIMUM OF 10 PERCENT BY WEIGHT PASSING ASTM D 1140, NO. 200 SIEVE.
- ALL FINISHED GRADING, SEEDING AND SODDING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF THE WATER ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDINGS OR STORM INLETS.
- CUT AND PATCH WORK IN EXISTING PUBLIC STREETS MUST BE PERFORMED IN ACCORDANCE WITH VDOT AND ALBEMARLE COUNTY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING CURB AND GUTTER ALONG THE FRONTAGE OF THIS SITE IN POOR CONDITION OR DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED TO THE STANDARDS AND SPECIFICATIONS OF ALBEMARLE COUNTY.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

OWNER / DEVELOPER

Owner/Developer: B Properties, LC,
P.O. Box 7627
Charlottesville, VA 22906

ZONING

HC - Highway Commercial
AIA - Airport Impact Area
EC - Entrance Corridor

LEGAL REFERENCE

TMP 04500-00-00-112B0 - DB 1723 PG 690 (3.13 Acs)
- DB 1380 PG 490 & 491 (Plot)

BENCHMARK

Bench mark is an existing storm sewer manhole within the adjacent building supply pavement area. Elev. = 489.23
See sheet C2.

SOURCE OF BOUNDARY & TOPO

Boundary survey information provided by:
Roger W. Ray & Associates, LLC.

Topographic survey provided by:
Roger W. Ray & Associates, LLC.
1717 Allied St.
Charlottesville, VA 22903
(434) 293-3195
Survey Conducted On: Feb 19 & 20, 2016

A title report was not provided. All easements and encumbrances may not be shown on this plan.

BUILDING HEIGHT

Maximum: 65'
Floors above 40' or the third story shall be stepped back a minimum of 15' from the front of the building.

SETBACKS

Front Building: 10' Min. & 30' Max.
Front Parking: 10' Min.
Rear & Side Building: 50' Min. From Adjacent Residential
Rear & Side Parking: 20' Min. From Adjacent Residential
Adjacent To Residential: 20' Undisturbed Buffer

EXISTING USE

Vacant Land

PROPOSED USE

New Building Supply Sales: 11,000 SF (Basement)
7,000 SF (1st Floor)
New Furniture Sales: 4,000 SF (1st Floor)
New Offices: 7,234 SF (2nd Floor)
New Outdoor Storage, Display and/or Sales: 28,360 SF

SIGNS

All signs shall conform with the MUTCD Guidelines.

FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 51003C02800), this property does not lie within the Zone AE 100-year flood plain.

PARKING SCHEDULE

Proposed Use: Required
Building Supply: 1 Space Per 400 SF
18,000 / 400 = 45 Spaces Required

Furniture Store: 1 Space per 400 SF of Retail Area
4,000 SF / 400 = 10 Spaces Required

Offices: 1 Space per 200 SF of Net Floor Area (80% of Gross)
7,234 SF X .80 = 5,787 / 200 = 29 Spaces Required

Total Number of Spaces Required: 84 Spaces
Total Number of Spaces Provided: 90 Spaces
(Includes 4 Van Handicap Accessible Spaces)

WATER & SANITARY SERVICES

Water will be provided by a new water service line connection to an existing RWSA line along Berkmar Drive.
Sanitary will be provided by a new sanitary sewer line that will connect to an existing manhole along Seminole Trail near the adjacent furniture store.
Additional detail will be provided with the final site plan submittal.

ELECTRIC / TELEPHONE / CABLE TV

If feasible, all new service lines for electricity, telephone and cable TV are to be installed underground. Care is to be taken to assure their location does not conflict with any other aspects of the proposed initial site plan.

LANDSCAPING CANOPY

See sheet C5 for proposed landscaping and canopy calculations.

CRITICAL SLOPES

There are managed steep slopes shown within this property. See sheet C2.

WATERSHED

This site is located within the South Fork Rivaanna River Watershed.
This site is not located within a water supply protection area.

LIGHTING

Proposed outdoor lighting locations will be shown on the final site plan submittal.

LAND USE SCHEDULE

EXISTING	Area	%
Building	0 SF	0%
Pavement	0 SF	0%
Sidewalk	0 SF	0%
Impervious area	0 SF	0%
Open space	174,240 SF	100%
Total=	174,240 SF (4.0 ac.)	
PROPOSED	Area	%
Building	18,466 SF	10.6%
Pavement	78,282 SF	44.9%
Sidewalk	2,360 SF	1.4%
Impervious area	99,108 SF	56.9%
Open space	75,132 SF	43.1%
Total=	174,240 SF (4.0 ac.)	



COVER SHEET			
Rev #	Date	Description	
1.	04/18/16	Special Exception Submittal	
2.	06/13/16	Revisions Per County Comments	
INITIAL SITE DEVELOPMENT PLAN FOR: BETTER LIVING BERKMAR DRIVE ALBEMARLE COUNTY, VIRGINIA			
Date	03/21/2016		
Scale			
Sheet No.	C1 OF 6		
File No.	11.016		

SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

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201 E MAIN ST, SUITE M
CHARLOTTESVILLE, VA 22902



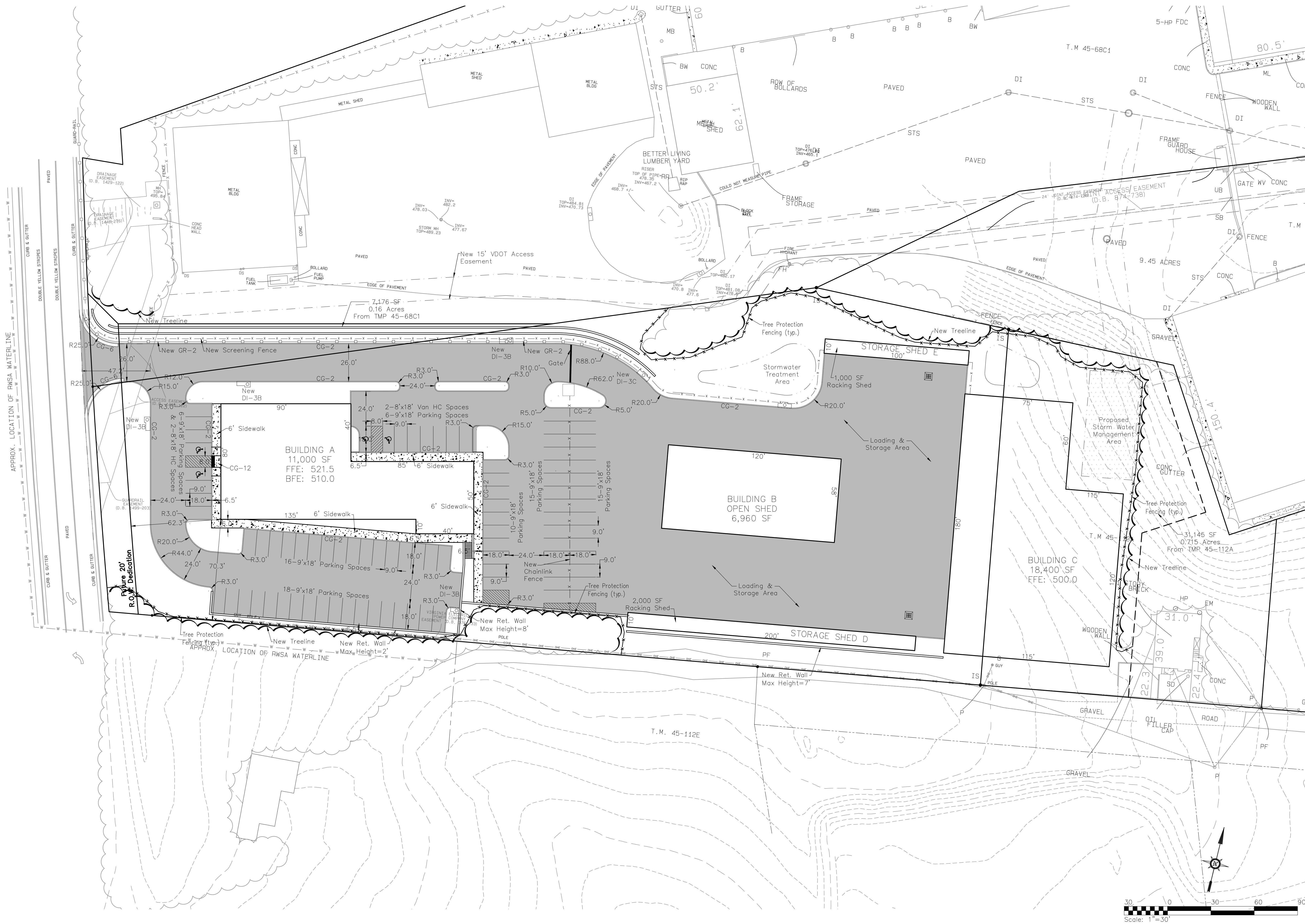
SITE PLAN

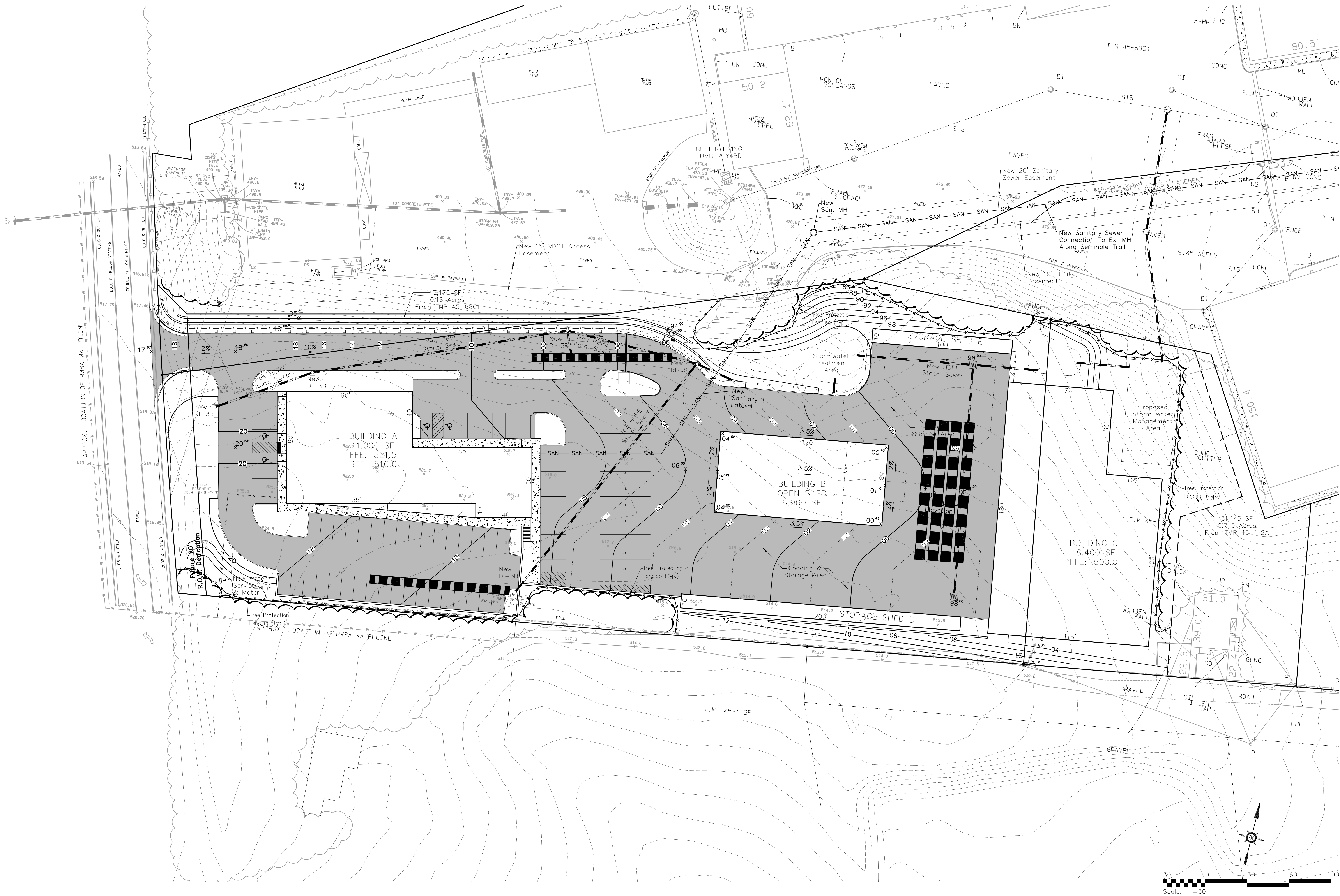
Rev #	Date	Description
1	03/18/16	Special Permit
2	06/13/16	Revisions Per County Comments

INITIAL SITE DEVELOPMENT PLAN FOR:

BETTER LIVING BERKMAR DRIVE
ALBEMARLE COUNTY, VIRGINIA

Date	03/21/2016
Scale	1"=30'
Sheet No.	C3 OF 6
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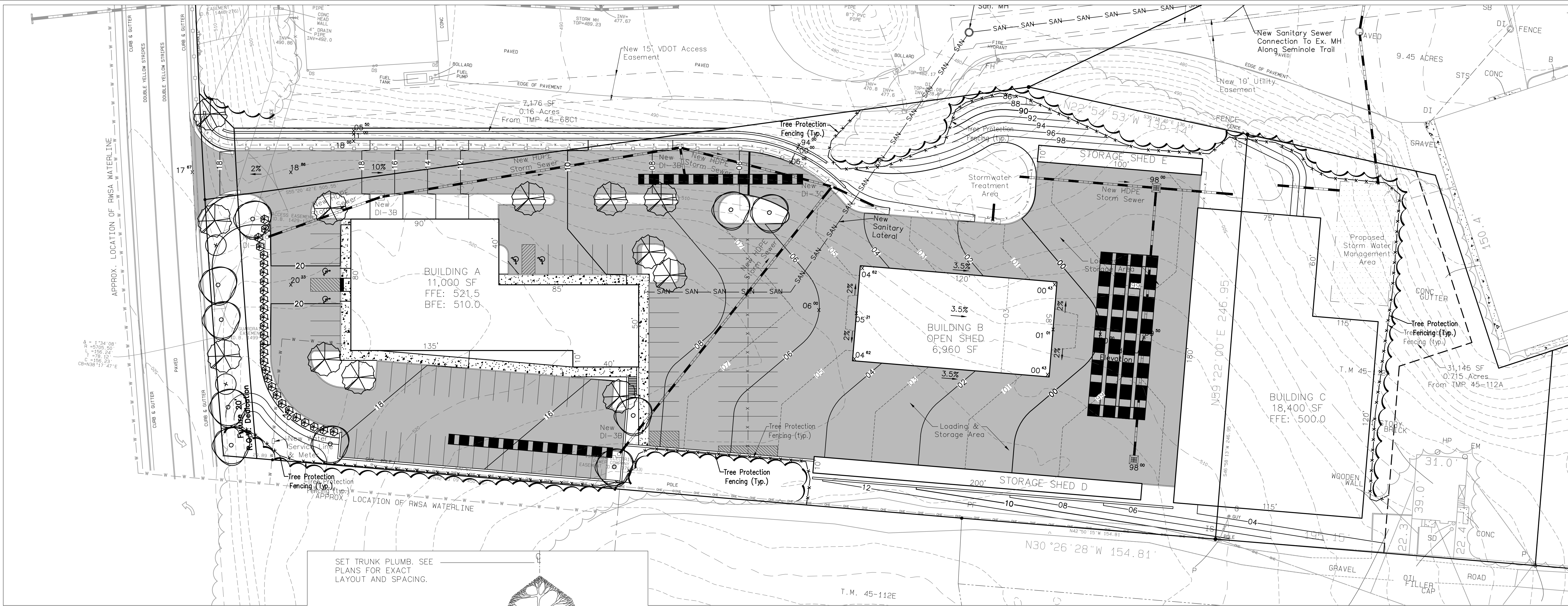
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GRADING & UTILITY PLAN				
Rev #	Date	Description	Special	Revisions Per County Comments
1	03/18/16	Sanitary		
2	06/13/16	Revisions		

INITIAL SITE DEVELOPMENT PLAN FOR:
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ALBEMARLE COUNTY, VIRGINIA

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SET TRUNK PLUMB. SEE PLANS FOR EXACT LAYOUT AND SPACING.

TREE TIES, SEE SPECS.

1-1/2" SQ. OAK STAKES SET 180 DEGREES APART

FINISHED GRADE

APPLY 2" OF MULCH AFTER PLANTING AND WATER THOROUGHLY

4" COMPACTED EARTH WATERING BERM

EXISTING GRADE

PLANTING PIT. SEE SPECS FOR EXACT REQUIREMENTS, PLANTING SOIL, AND PLANTING SOIL AMENDMENTS.

REMOVE BURLAP & STRING FROM TOP 1/3 OF ROOT BALL

UNDISTURBED SOIL

1 TREE PLANTING DETAIL
C5 Not To Scale

SEE PLANS FOR EXACT LAYOUT. SPACE PLANTS AS SPECIFIED IN PLANT LIST OR AS SHOWN. ADJUST SPACING AS NECESSARY OR AS DIRECTED BY LANDSCAPE ARCHITECT.

MULCH 2" DEEP IMMEDIATELY AFTER PLANTING AND WATER THOROUGHLY.

PLANTING PIT. PREPARED SOIL FOR SHRUBS

SOIL SURFACE ROUGHENED TO BIND NEW SOIL

SET SHRUB PLUMB. TOP OF ROOTBALL SHALL NOT BE MORE THAN 1" ABOVE FINISHED GRADE

REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL

3" TALL WATERING BERM

FINISHED GRADE

1/2 BALL DIA. MIN.

VARIABLE

2 SHRUB PLANTING DETAIL
C5 Not To Scale

County of Albemarle
Conservation Plan Checklist - To be placed on Landscape Plans
(Handbook, pp III-284-111-297 for complete specifications)

- The following items shall be shown on the plan:**
 - ☐ Trees to be saved;
 - ☐ Limits of clearing (outside dripline of trees to be saved);
 - ☐ Location and type of protective fencing;
 - ☐ Grade changes requiring tree wells or walls;
 - ☐ Proposed trenching or tunneling beyond the limits of clearing.
- Markings:**
 - ☐ All trees to be saved shall be marked with print or ribbon at a height clearly visible to equipment operators.
 - ☐ No grading shall begin until the tree marking has been inspected and approved by a County Inspector.
- Pre-Construction Conference:**
 - ☐ Tree preservation and protection measures shall be reviewed with the contractor on site.
- Equipment Operation and Storage:**
 - ☐ Heavy equipment, vehicular traffic and storage of construction materials including soil shall not be permitted within the driplines of trees to be saved.
- Soil Erosion and Stormwater Detention Devices:**
 - ☐ Such devices shall not adversely affect trees to be saved.
- Fires:**
 - ☐ Fires are not permitted within 100 feet of the dripline of trees to be saved.
- Toxic Materials:**
 - ☐ Toxic materials shall not be stored within 100 feet of the dripline of trees to be saved.
- Protective Fencing:**
 - ☐ Trees to be retained within 40 feet of a proposed building or grading activity shall be protected by fencing.
 - ☐ Fencing shall be in place and shall be inspected and approved by a County Inspector prior to grading or construction.
- Tree Walls:**
 - ☐ When the ground level must be raised within the dripline of a tree to be saved, a tree well shall be provided and a construction detail submitted for approval.
- Tree Walls:**
 - ☐ When the ground level must be lowered within the dripline a tree to be saved, a tree wall shall be provided; and a construction detail submitted for approval.
- Trenching and Tunneling:**
 - ☐ When trenching is required within the limits of clearing, it shall be done as far away from the trunks of trees as possible. Tunneling under a large tree shall be considered as an alternative when it is anticipated that necessary trenching will destroy feeder roots.
- Cleanups:**
 - ☐ Protective fencing shall be the last items removed during the final cleanup.
- Damaged Trees:**
 - ☐ Damaged trees shall be treated immediately by pruning, fertilization or other methods recommended by a tree specialist.

NOTE: IT IS THE DEVELOPER'S RESPONSIBILITY TO CONFER WITH THE CONTRACTOR ON TREE CONSERVATION REQUIREMENTS.

OWNER SIGNATURE _____ (DATE) _____
CONTRACT PURCHASER SIGNATURE _____ (DATE) _____

5/1/06 Page 1 of 1

LANDSCAPING NOTES:

TREE COVER REQUIREMENT (SEC. 32.7.9.8):
10% FOR A DEVELOPMENT ZONED FOR BUSINESS, COMMERCIAL, OR INDUSTRIAL USE.
174,240 X .10 = 17,424 SF REQUIRED
PROVIDED: 10,918 SF OF NEW CANOPY AREA PROVIDED. (SEE TABLE BELOW)
+ 10,235 SF OF EXISTING CANOPY * 1.25 = 23,712 SF

STREETSCAPE REQUIREMENT (SEC. 32.7.9.5):
1 LARGE SHADE TREE PER 35' OF ROAD FRONTAGE WITHIN THE ENTRANCE CORRIDOR:
221 LF/35 = 7 TREES REQUIRED
SINGLE ROW OF 12" HIGH SHRUB PLANTED 5' O.C. BETWEEN PARKING & ROAD.
PROVIDED: 7 NEW TREES PROVIDED
28 NEW SHRUBS PROVIDED

PARKING LOT LANDSCAPING - (SEC. 32.7.9.6):
1 LARGE SHADE TREE PER 10 PARKING SPACES. 79 SPACES/10 = 8 TREES REQUIRED
5% OF TOTAL PAVED PARKING AREA TO BE LANDSCAPED WITH TREES OR SHRUBS.
38,688 SF X .05 = 1,935 SF REQUIRED
PROVIDED: 15 TREES PROVIDED
9,320 SF LANDSCAPED AREAS PROVIDED

- NOTES:
- Contractor to apply mulch bedding around all proposed trees and shrubs.
 - All other landscaped areas shall be sodded.
 - All site plantings of trees and shrubs shall be allowed to reach, and be maintained at, mature height; the topping of trees is prohibited. Shrubs and trees shall be pruned minimally and only to support the overall health of the plant.

LANDSCAPE SCHEDULE

Plant Symbol	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Canopy	Total Canopy SF
	Large Shade Tree	Quercus palustris	Pin Oak	3.5" Cal.	10	471	4710
	Large Shade Tree	Zelkova serrata "Green Vase"	Green Vase Zelkova	3.5" Cal.	12	443	5316
	Ornamental Tree	Cercis canadensis	Eastern Redbud	6-7' Ht.	2	124	248
	Evergreen Screening Shrub	Ilex glabra	Inkberry Holly	2' Ht.	28	23	644
NOTE: CANOPY FROM 10 YR GROWTH							TOTAL CANOPY 10918

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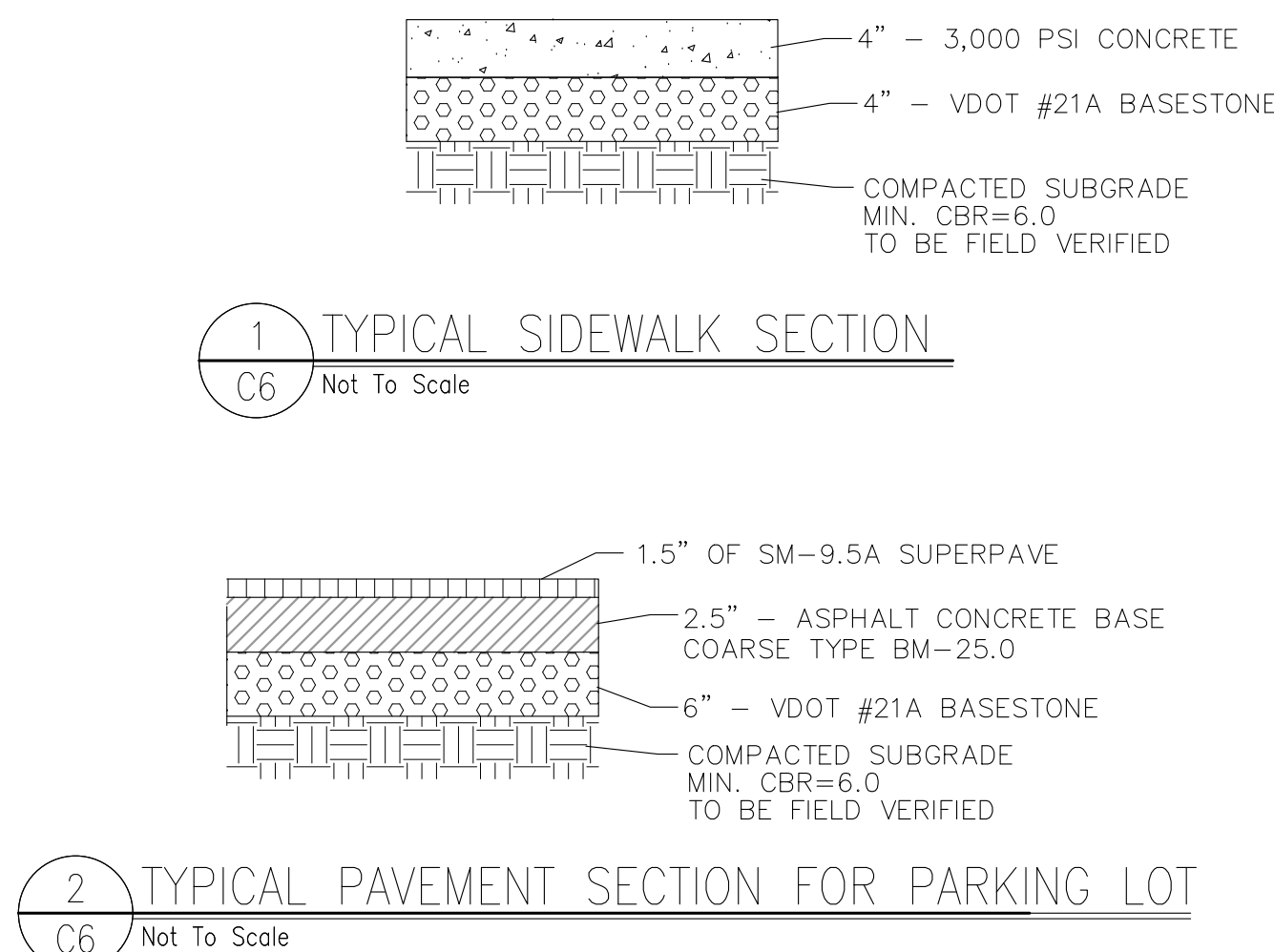
LANDSCAPE PLAN

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1.	04/18/16	Special Exception, Submittal
2.	06/13/16	Revisions Per County Comments

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